



OPEN MEETING

**REGULAR MEETING OF THE THIRD LAGUNA HILLS MUTUAL
ARCHITECTURAL CONTROL AND STANDARDS COMMITTEE**

**Monday, August 26, 2019 – 9:30 p.m.
Laguna Woods Village Community Center Sycamore Room
24351 El Toro Road**

NOTICE AND AGENDA

1. Call to Order
2. Acknowledgement of Media
3. Approval of the July 22, 2019 Report
4. Approval of the Agenda
5. Chair Remarks
6. Member Comments - *(Items Not on the Agenda)*
7. Department Head Update

Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

Items for Discussion and Consideration:

Variance Requests:

8. 3456-B (Andaluz, P43) Raise Living Room Ceiling above Existing Structural Members, and replace roofing materials to accommodate Solar Panel Installation

Standards Discussion Items:

Reports

9. Status of Mutual Consents

Future Agenda Items:

New building material information (on-going)

Concluding Business:

10. Committee Member Comments
11. Date of next meeting – September 23, 2019
12. Adjourn

Steve Parsons, Chair
Brett Crane, Staff Officer
Alisa Rocha, Alterations Coordinator: 949-268-2301



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**Monday, July 22, 2019 – 9:30 a.m.
Laguna Woods Village Community Center Sycamore Room
24351 El Toro Road**

REPORT

COMMITTEE MEMBERS PRESENT: Chair Steve Parsons, Reza Karimi, Roy Bruninghaus, John Frankel, Lynn Jarrett

COMMITTEE MEMBERS ABSENT: NA

OTHERS PRESENT: NA

ADVISORS PRESENT: Mike Butler, Mike Plean

STAFF PRESENT: Brett Crane, Gavin Fogg, Alisa Rocha

1. Call to Order

Chair Parsons called the meeting to order at 9:30 a.m.

2. Acknowledgement of Media

NA

3. Approval of June 24, 2019 Report

Director Bruninghaus moved to accept the report. Advisor Plean seconded. The committee had no objection.

4. Approval of the Agenda

Director Bruninghaus moved to accept the agenda. Director Jarrett seconded. The committee had no objection.

5. Committee Chair Remarks

NA

6. Member Comments - (Items Not on the Agenda)

Member Chris Powers mentioned running into Bill Walsh and discussing with him how this committee and the Alterations Division has been a real success story and other departments should aspire to be as well rounded as the Alterations Division.

7. Department Head Update

Mr. Crane congratulated Mr. Fogg on his promotion to Inspection Supervisor.

Consent:

All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.

None.

Items for Discussion and Consideration:

Standards Discussion Items:

8. Review Standard 41: Solar Panels, 1 Story Buildings

Director Bruninghaus made a motion to accept Staff's recommendation and approve this request. Director Jarrett seconded. The committee was in unanimous support.

The committee proposed the following additional changes to this Standard and asked Staff to send to the Board for approval.

§2.11 Change 'must be' to 'requires'

§3.8 Change 'Permit and' to 'Alterations Division'

§3.9 Change 'elect' to 'chooses' and 'than' to 'then'

8a. Introduction of Alternate Heat Source Policy (last minute agenda item)

Director Karimi made a motion to accept Staff's recommendation and approve this request. Director Bruninghaus seconded. The committee was not in unanimous support. Director Frankel was not in agreement.

The committee proposed the following additional changes to this policy and asked Staff to send to the Board for approval.

Attachment 1 Change 'a' to 'many' and 'unit' to 'units'

Reports:

9. Status of Mutual Consents

Mr. Fogg reviewed this report with the committee.

Director Bruninghaus proposed including the number of open cases.

Discussion took place regarding receiving accurate information from The City regarding actual open cases vs. cases that are complete but have not been signed off on by The City. Mr. Crane will continue to work on the running list with The City. Mr. Crane will also work with Compliance Office to recognize which may be a compliance issue.

Future Agenda Item(s):

Open competition rules. Mr. Crane will look further into this matter.

Concluding Business:

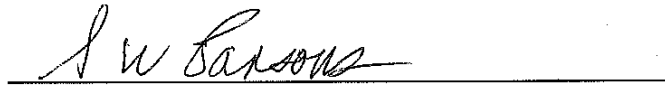
10. Committee Member Comments

Advisor Plean recommended Staff provide feedback to the committee with Board decisions.

Chair Parsons raised awareness of the flyer circulating regarding inaccurate 2020 assessment fee increases.

11. Date of next meeting – Monday, August 26, 2019

12. Adjourned at 10:42 a.m.

A handwritten signature in cursive script, appearing to read "S W Parsons", is written over a horizontal line.

Chair, Steve Parsons
Brett Crane, Staff Officer
Alisa Rocha, Alterations Coordinator, 268-2301



STAFF REPORT

DATE: August 26, 2019
FOR: Architectural Control and Standards Committee
SUBJECT: Variance Request
Mr. Timothy Cooper/Mrs. Susan Smallwood of 3456-B (Andaluz, P43)
Request to Raise Living/Dining Room and Bedroom Ceiling above Existing Structural Members and Replace Roofing Materials to Accommodate Solar Panel Installation.

RECOMMENDATION

Staff recommends the Board approve the requests to raise living room ceiling above existing structural members and replace roofing materials to accommodate solar panel installation with the conditions in Appendix A.

BACKGROUND

Mr. Cooper and Mrs. Smallwood of 3456-B Bahia Blanca W, an Andaluz style unit, is requesting Board approval to:

1. Alter the existing flat ceiling above the living/dining room and bedroom area to a vaulted ceiling.
2. Re-roof their unit with an alternative material to allow for installing a Photovoltaic (Solar) System

Based on the request involving structural modifications to the unit, Staff requires Board approval in order to issue a Mutual Consent for the vaulted ceiling.

At the time of writing this report, a revised Mutual Standard 41: Solar Panels, 1 Story Buildings, is pending Board approval and 28-day notice ahead of implementation. Due to the Mutual Standard 41: Solar Panels, 1 Story Buildings, still pending effectiveness, Staff requires Board approval in order to issue a Mutual Consent to change the roofing materials.

The Members have provided staff with the proposed plans (Attachment 1).

All costs associated to the alteration would be borne by the Member.

DISCUSSION

The proposed vaulted ceiling would take place without changing the existing roofline. The new ceiling would be achieved by removing a portion of the existing trusses and installing a common rafter system to provide structural support to the existing roof. The roof's rafters would be covered with drywall with decorative beams along the unit's interior to create a vaulted ceiling, the interior ceiling height increasing from approximately 8-10' to 14'.

Full stamped structural drawings will be required as a condition of approval.

The Members have coordinated with Staff and the Third Mutual roof contractor, Letner Roofing Co., who have determined the need to re-roof the area proposed for the solar array ahead of the installation. This would bring the schedule for the re-roofing of the unit forward and as such, the Members have agreed to bear the costs involved. The roof (currently metal slates), will be stripped and a new composition shingle roof would be installed as per the guidelines set forth by the revised Mutual Standard 41: Solar Panels, 1 Story Buildings.

A condition requiring the pending Third Mutual Solar Installation Standard 41 in Appendix B is to be followed throughout the installation and maintenance of this project has been added (Appendix A).

Structural drawings with roof load calculations will be required upon approval, prior to a Mutual Consent being issued for the project.

The condominium plan for Unit 3456-B designates the roof and structural members as Common Area; this request falls under the parameters outlined in the Policy for Alteration of Attics, Soffits and Suspended Ceilings.

A City of Laguna Woods permit will ensure code compliance and structural integrity.

At the time of preparing this report, there are no open Mutual Consents for Unit 3456-B.

Similar requests for installing a vaulted ceiling have been approved in July 2018 at 5422 (San Marco) and December 2018 at 5165 (Villa Paraisa).

There are no variances on file for single story units installing solar panels due to having a Mutual Standard.

The two items listed in the variance are part of a whole unit remodel (see attachment 2) that can be performed over-the-counter and with Board approval via variance 03-18-70 for the room addition.

A Neighbor Awareness Notice was sent to Units 3451-B, 3451-C, 3455-A, 3455-B, 3456-A, 3457-A and 3457-B on August 12, 2019, due to line of sight and/or effects of construction noise/debris within 150' of the alteration.

At the time of this writing, no responses have been received regarding the proposed alteration.

All future costs and maintenance associated with the subject alterations are the responsibility of the Mutual member(s) at 3456-B.

Prepared By: Gavin Fogg, Inspections Supervisor

Reviewed By: Brett Crane, Permits, Inspections & Restoration Manager
Alisa Rocha, Alterations Coordinator

ATTACHMENT(S)

Appendix A:	Conditions of Approval
Appendix B:	Pending Standard 41: Solar Panels, 1 Story Buildings
Attachment 1:	Site Plans
Attachment 2:	Variance Request, July 9, 2019
Attachment 3:	Photos
Attachment 4:	Map

APPENDIX A
CONDITIONS OF APPROVAL

Conditions of approval would be as follows:

1. Installation of the proposed PV System must be in accordance with the Third Mutual Standard 41: Solar Panels, 1 Story Buildings, as attached to the Variance Request.
2. The cost of re-roofing the garage prior to the installation of the PV System will be the responsibility of the Member Owner of 3456-B.
3. No improvement shall be installed, constructed, modified or altered at unit **3456-B**, ("Property") within the Third Laguna Hills Mutual ("Mutual") unless and until a Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member Owner or Owners ("Member Owner") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
4. A Variance for Unit Alterations has been granted at **3456-B** for **Raise Ceiling above Existing Structural Members in Living/Dining Room and Bedroom, and Solar Panel Installation**, subject to the attached plans stamped approved and is subject to the final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or severe fines to the Member.
5. Prior to the issuance of a Mutual Consent for Unit Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
6. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member Owner at 3456-B and all future Mutual members at 3456-B.
7. Parking of contractor's or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
8. Prior to the Issuance of a Mutual Consent for Alterations, acoustical impacts shall be considered and will require noise reducing material such as sound dampening drywall on common walls of the alteration (such as QuietRock® drywall panels or similar approved products).
9. Member Owner(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Covenant to Run with the Land" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual

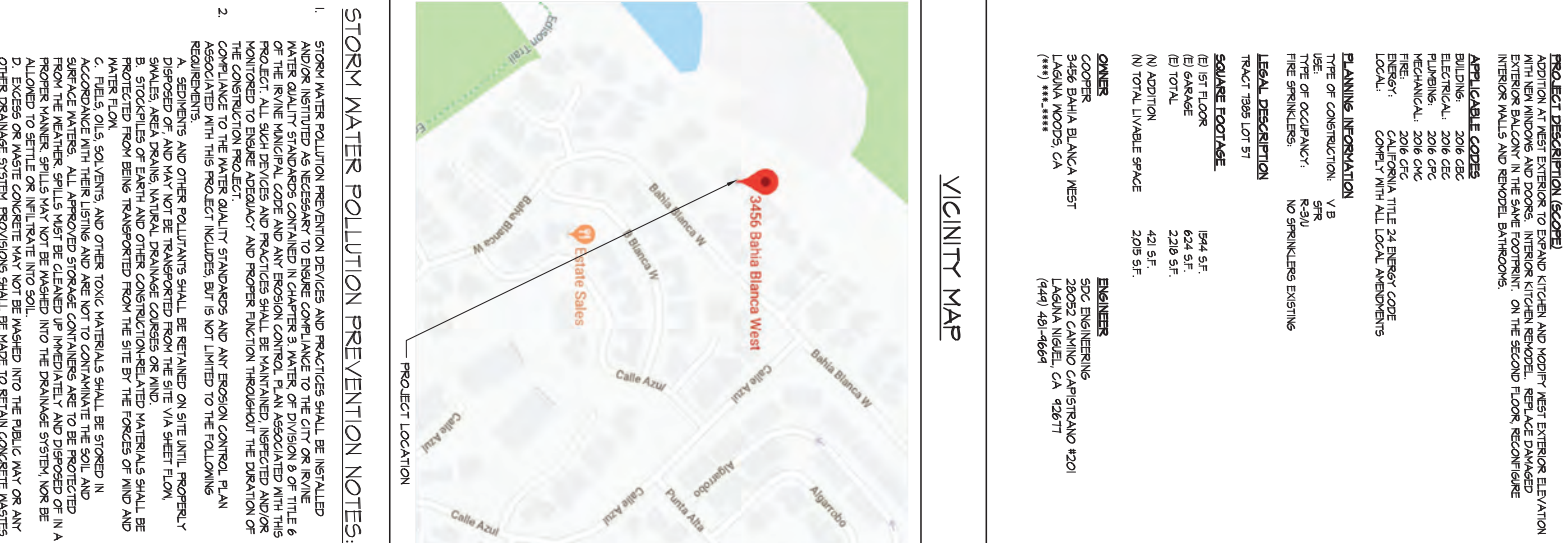
Consent for Unit Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.

10. A City of Laguna Woods permit is required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a Mutual Consent for Unit Alterations, the appropriate City of Laguna Woods permit number(s) must be submitted to the Division office located in the Laguna Woods Village Community Center. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
11. Prior to the issuance of a Mutual Consent for Unit Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member Owner may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member Owner's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member Owner's expense during construction of the improvement.
12. Prior to the issuance of a Mutual Consent for Unit Alterations, any altered exterior surface should match the Building color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or white; the approved colors and materials are identified as "Third Laguna Hill Mutual Color Selections" at Resident Services, located at the Community Center first floor.
13. Member Owner shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, and use of Mutual property for storage of equipment or materials without prior approval. Member Owner acknowledges and agrees that all such persons are his/her invitees. Member Owner shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
14. Member Owner hereby consents to and grants to the Mutual and the Division, and their representatives, a right of entry upon the Property at any time to be used to inspect the Property and the improvements thereon and for the Mutual and the Division, and their representatives and contractors to remedy any violation upon the Property, including, but not limited to, removing trash, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval.
15. Member Owner shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment, traffic or other charge levied in connection therewith.
16. Member is responsible for following the gate clearance process in place to admit contractors and other invitees.
17. Member Owner's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized

to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.

18. Prior to the Issuance of a Mutual Consent for Unit Alterations, the Member shall post a Conformance Deposit in the amount of \$250 for all improvements exceeding a total of \$500. The Conformance Deposit will be held until Final City Building Permit Issuance if required, to assure no damages to Mutual property occurs during construction, including, but not limited to, internet/TV, landscaping, or exterior walls/roof.
19. The Conformance Deposit shall be held by the Mutual and applied, at the Mutual's sole discretion, to any fine levied against the Member Owner or the Property, to cover and/or recoup any costs whatsoever, including, but not be limited to, administrative and legal costs, incurred by the Mutual or VMS, Inc., in connection with the Property, or to any unpaid charges or assessments on the Mutual's account for the Property. For example, the Mutual could apply all or a portion of the Conformance Deposit to cover the following: fines levied against any invitee of Member Owner; fines levied for construction violations; costs incurred by the Mutual in repairing damage to Mutual property caused by Member Owner's contractor or other invitee; costs incurred by the Mutual in curing a violation on the Property; costs incurred in removing or altering an improvement upon the Property; or to an unpaid assessment, special assessment, late charge, interest or collection costs posted to the Mutual's account for the Property. The foregoing list is illustrative only and in no way represents the only situations where the Mutual could apply all or a portion of the Conformance Deposit.
20. If at any time the amount of the Conformance Deposit falls below 3/4ths of the amount originally required to be posted, Member Owner agrees to immediately deposit additional sums with the Mutual in an amount sufficient to return the Conformance Deposit to the originally required level. Until the Conformance Deposit is so replenished, an automatic stop work order shall be in effect.
21. Any remaining Conformance Deposit is refundable if the Member Owner notifies the Division, in writing, that the improvement(s) for which the Conformance Deposit was posted have been completed in accordance with the approval, and the Division agrees with the same. The Mutual will mail the unused portion of the Conformance Deposit, if any, to the Member Owner's address of record with the Mutual. Under no circumstances shall Member Owner be entitled to any interest on any portion of the Conformance Deposit. If no written request for return of a Conformance Deposit is made by Member Owner within two years from the date when the Conformance Deposit is posted with the Mutual, the Conformance Deposit will be deemed forfeited to the Mutual.
22. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards. See <http://www.lagunawoodsvillage.com>.
23. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
24. During construction, both the Mutual Consent for Unit Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
25. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.

26. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
27. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
28. The Mutual Consent for Unit Alterations expires six months after the date of approval, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
29. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Owner Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
30. Mutual member shall indemnify, defend and hold harmless Third and its officers, directors, committee members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Mutual member's improvements and installation, construction, design and maintenance of same.



PROJECT INDEX	DRAWING TITLE
A-1 A-2 A-3 A-4 A-5	FLOOR PLAN & GENERAL INFORMATION ELEVATIONS / UTILITIES MECHANICAL PLAN & SCHEDULES DETAIL PLAN & ROOF PLAN
A-1 A-2 A-3 A-4 A-5	GENERAL NOTES:
1. CONTRACTOR SHALL PRIOR TO COMMENCEMENT OF WORK, FIELD VERIFY ALL EXISTING PROJECT CONDITIONS INCLUDING DIMENSIONS AND UTILITY LOCATIONS AND UTILITY SIZES. FIELD CONFIRMATION OF DISCREPANCIES SHALL BE RECORDED ON A REPRODUCIBLE DOCUMENT AND IMMEDIATELY FORWARDED TO ENGINEER FOR PROJECT RECORD. 2. CONSTRUCTION AND NECESSARY RECONSTRUCTION TO CONTINUE WITH WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND SCALES SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTINUING WITH WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTINUING WITH WORK. ALL DIMENSIONS ON PLANS ARE TO CENTERLINE OF WALLS, COLUMNS AND FACE OF STUD (N.O.S.) OR FACE OF MASONRY (F.O.M.) UNLESS NOTED OTHERWISE. 3. BUILDING CODES, THE AMERICAN WITH DISABILITIES ACT, AS WELL AS ALL OTHER LOCAL GOVERNING CODES AND ORDINANCES. 4. ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL THE LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION. 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY THE GENERAL CONTRACTOR. ALL OTHER REQUIRED PERMITS SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR OR SUBCONTRACTOR DIRECTLY RESPONSIBLE. ALL REQUIRED CITY AND COUNTY LICENSES SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL TRAVELER. ALL CONTRACTORS SHALL HAVE VALID CERTIFICATES OF WORKMAN'S COMPENSATION ON FILE WITH THE APPROPRIATE AGENCIES. 6. THE CONTRACTOR SHALL OBTAIN NECESSARY FINAL APPROVAL OF LOCAL HEALTH DEPARTMENT AND THE DEPARTMENT OF PUBLIC CERTIFICATES OF OCCUPANCY. CONTRACTOR SHALL PROVIDE BACKLOG FOR SUPPORT OF ALL WALL, CEILING, AND PARTITION MOUNTED ITEMS SUCH AS TABLE BRACKETS, LIGHT FIXTURES, SHELVE, EQUIPMENT, AND TELEVISIONS, COORDINATE LOCATIONS AND REQUIREMENTS WITH THE PLUMBING. 7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES. WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR THE REPAIR OR REPLACEMENT OF UTILITIES AND ALL OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH ACCORDANCE WITH ALL APPLICABLE CODES. 8. CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION IN ACCORDANCE WITH ALL APPLICABLE CODES. 9. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES. CONTRACTOR SHALL PROVIDE REQUIRED PROTECTION INCLUDING, BUT NOT LIMITED TO, SHORING, BRACING, AND ALL OTHER SUPPORTS INCLUDING ENGINEERING OF SYSTEMS) NECESSARY TO MAINTAIN OVERALL STRUCTURAL INTEGRITY OF THE BUILDING. ALL PROTECTION AND SHORING SHALL BE REINFORCED IN A MANNER AND BY A METHOD THAT WILL BE SUFFICIENT TO SUPPORT THE EXISTING STRUCTURE. 10. DECORATIVE MATERIALS SHALL BE NON-SCORABLE OR TREATED IN AN APPROVED FLAME RETARDANT MANNER AND SHALL BE PROVIDED WITH STATE FIRE MARSHAL'S CERTIFICATION STAMP AND SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION. INTERIOR WALL AND CEILING FINISHES SHALL NOT EXCEED FLAME SPREAD CLASSIFICATION DETERMINED BY ALL APPLICABLE CODES. CLASSIFICATION DETERMINED BY ALL APPLICABLE CODES. 11. GYMNASIUM BOARD AND SUSPENDED CEILING SYSTEMS SHALL CONFORM TO ALL LOCAL GOVERNING BUILDING CODES AND ORDINANCES. 12. ALL GLASS AND GLASSING SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AS WELL AS THE U.S. CONSUMER PRODUCT SAFETY COMMISSION SAFETY STANDARDS FOR CHILD RESISTANT GLASS (CPSC 1201). 13. CONTRACTOR SHALL SEAL ALL GAPS, JOINTS, AND CRACKS IN BUILDING CONSTRUCTION AS REQUIRED TO CONTROL INFILTRATION OF WEATHER. 14. THE DISCHARGE OF POLLUTANTS ANY PART OF DRAINAGE SYSTEM IS PROHIBITED. NO SOID WASTE, RETIEMOVAL, PROMOTIONS, SOIL, FERTILIZER, CONSTRUCTION WASTE MATERIALS, OR OTHER POLLUTANTS SHALL BE CONVEYED OR DISCHARGED INTO THE STREET, DITCH, OR STORM DRAIN SYSTEM. 15. DOORS THAT PROVIDE DIRECT ACCESS TO SWIMMING POOL, SPA AREA SHALL HAVE BARRIER INSTALLED PER CBC 3104.414. 16. A SERVANT ENTRANCE IS REQUIRED FOR DETENTION ACCESSORY BUILDINGS SHIT # 1. 17. RETAINING WALLS SHALL BE CLASS SHANNING WALLS, ETC. 18. ROOF FINISHES SHALL BE CLASS SHANNING ROOF AND WATERPROOF AS REQUIRED BY RESOL 12 FOR A MINIMUM OF 6 FEET IN HEIGHT. 19. ROOF FINISHES SHALL HAVE CONTROLLED METHOD OF WATER DRAINAGE FROM ROOFS THAT WILL COLLECT AND DISCHARGE ROOF DRAINAGE TO THE GROUND SURFACE AT LEAST FIVE FEET AWAY OR TO AN APPROVED DRAINAGE SYSTEM (R.O.D.) 20. BATHROOM BATHS SHALL BE DESIGN STAIN-COMPLANT, DESIGNED TO TERMINATE DRAINAGE INTO THE SEWER. BATHROOMS SHALL BE DESIGNED TO BE PROTECTED FROM THE RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT (65-85% RH). 21. CALIFORNIA STATE CIVIL CODE SECTION 101101-010 REQUIRES THAT FOR SINGLE FAMILY RESIDENTIAL PROPERTIES FOR INDEPENDENT ACTIVITY REQUIRING BUILDING PERMIT, THE BUILDING APPLICANT IS RESPONSIBLE FOR REPAIR ALL NON-COMPLANT PLUMBING SYSTEMS WITHIN THE BOUNDARY OF THE WATER CONVEYANCE PLUMBING SYSTEM. THE WATER CONVEYANCE PLUMBING SYSTEM SHALL BE DESIGNED TO BE PROTECTED FROM THE RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT (65-85% RH). 22. ROOF FINISHES SHALL BE CLASS SHANNING ROOF AND WATERPROOF AS REQUIRED BY RESOL 12 FOR A MINIMUM OF 6 FEET IN HEIGHT.	BEST MANAGEMENT PRACTICES NOTES CONSTRUCTION MATERIALS AND WASTE MANAGEMENT 1. MATERIAL DELIVERY AND STORAGE: MINIMIZE STORAGE OF HAZARDOUS MATERIALS ON SITE. STORE MATERIALS IN DESIGNATED AREAS. INSTANT SECONDARY CONTAINMENT. CONDUCT REGULAR INSPECTIONS AND TRAIN EMPLOYEES AND SUBCONTRACTORS. 2. WASTE MANAGEMENT: IMPLEMENT A WASTE MANAGEMENT PLAN. MINIMIZE HAZARDOUS MATERIAL USE. ON-SITE TRAILER, PREVENTION AND CONTROL. REDUCE CHANCES FOR SPILLS. STOP SOURCE OF SPILLS. CONTAIN AND CLEAN UP SPILLS IMMEDIATELY. DISPOSE OF SPILLS APPROPRIATELY. 3. SOIL AND GROUNDWATER MANAGEMENT: PREVENT POLLUTION OF SOIL AND GROUNDWATER. CONDUCT REGULAR MONITORING AND TESTING. PREVENT POLLUTION OF SOIL AND GROUNDWATER. 4. POLLUTION PREVENTION: PREVENT RAIN- AND RUN-OFF POLLUTION. PROPERLY DETENTION, PAVING OPERATIONS, PREVENT RAIN- AND RUN-OFF POLLUTION. PROPERLY DETENTION, PAVING OPERATIONS, PREVENT RAIN- AND RUN-OFF POLLUTION. PROPERLY DETENTION, PAVING OPERATIONS, PREVENT RAIN- AND RUN-OFF POLLUTION. 5. PERFORM ON-SITE WASTEWATER MANAGEMENT.
1. VEHICLE AND EQUIPMENT CLEANING. CLEAN AT AN OFF-SITE FACILITY. WASH IN DESIGNATED, CONTAINED AREA. RECYCLE WASH. 2. VEHICLE AND EQUIPMENT FUELING. USE OFF-SITE FACILITIES. FUEL IN DESIGNATED AREAS ONLY. ENCLOSE OR COVER STORED FUEL. WASH EQUIPMENT SPILLS CONTAIN. 3. VEHICLE AND EQUIPMENT MAINTENANCE. USE OFF-SITE FACILITIES. WORK IN DESIGNATED AREAS. ENCLOSE OR COVER STORED FUEL. WASH EQUIPMENT SPILLS CONTAIN. 4. EQUIPMENT AND MATERIALS. CHECK FOR LEAKS AND SPILLS CONTAIN. 5. EQUIPMENT OPERATIONS. USE SEDIMENT CONTROLS AND TEST SEDIMENTATION FOR POLLUTION. PAVING OPERATIONS, PREVENT RAIN- AND RUN-OFF POLLUTION. PROPERLY DETENTION, PAVING OPERATIONS, PREVENT RAIN- AND RUN-OFF POLLUTION. PROPERLY DETENTION, PAVING OPERATIONS, PREVENT RAIN- AND RUN-OFF POLLUTION.	GENERAL SITE MANAGEMENT 1. VEHICLE AND EQUIPMENT CLEANING. CLEAN AT AN OFF-SITE FACILITY. WASH IN DESIGNATED, CONTAINED AREA. RECYCLE WASH. 2. VEHICLE AND EQUIPMENT FUELING. USE OFF-SITE FACILITIES. FUEL IN DESIGNATED AREAS ONLY. ENCLOSE OR COVER STORED FUEL. WASH EQUIPMENT SPILLS CONTAIN. 3. VEHICLE AND EQUIPMENT MAINTENANCE. USE OFF-SITE FACILITIES. WORK IN DESIGNATED AREAS. ENCLOSE OR COVER STORED FUEL. WASH EQUIPMENT SPILLS CONTAIN. 4. EQUIPMENT AND MATERIALS. CHECK FOR LEAKS AND SPILLS CONTAIN. 5. EQUIPMENT OPERATIONS. USE SEDIMENT CONTROLS AND TEST SEDIMENTATION FOR POLLUTION. PAVING OPERATIONS, PREVENT RAIN- AND RUN-OFF POLLUTION. PROPERLY DETENTION, PAVING OPERATIONS, PREVENT RAIN- AND RUN-OFF POLLUTION. PROPERLY DETENTION, PAVING OPERATIONS, PREVENT RAIN- AND RUN-OFF POLLUTION.



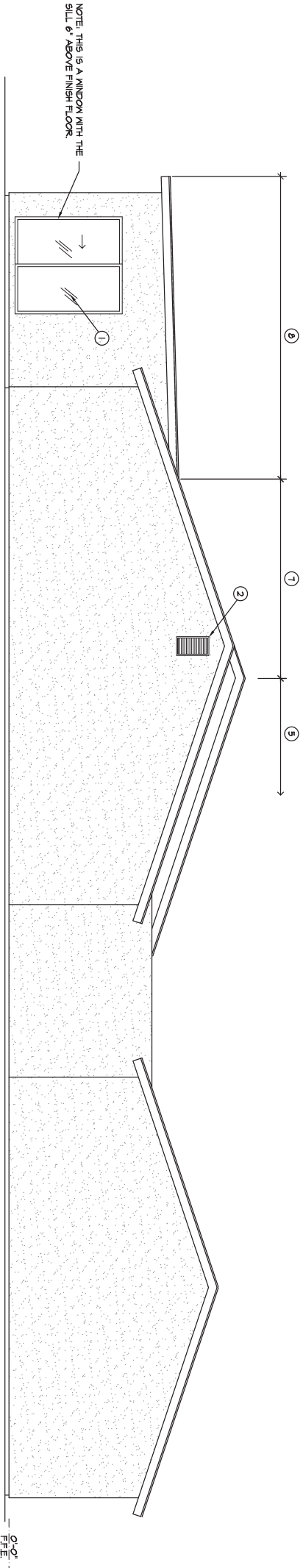
ELEVATION KEY NOTES:

- 1) NEW WINDOW PER SCHEDULE
- 2) EXISTING ATTIC VENT.
- 3) NEW OR EXISTING DOORS PER SCHEDULE
- 4) NEW PAINT TO MATCH EXISTING OVER EXTERIOR PLASTER
- 5) EXIST. ROOF SHINGLES (TO REMAIN UNDISTURBED).
- 6) NEW 2X FASCIA - PAINT COLOR TO MATCH EXISTING TRIM
- 7) NEW CLASS A ASPHALT ROOF SHINGLES, COLOR TO MATCH (E) ROOFING.
- 8) NEW BUILT UP CLASS A ASPHALT ROOF BY OWNER, OWNER SHALL OBTAIN APPROVALS AS REQUIRED.

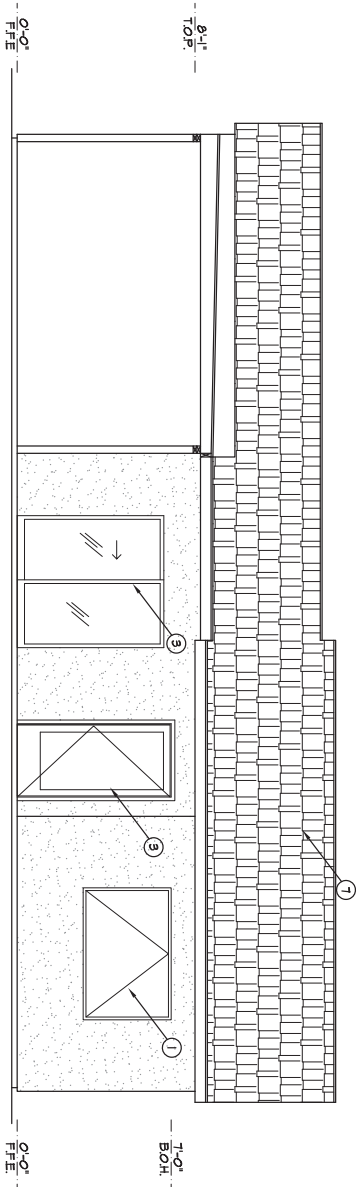
GENERAL EXTERIOR NOTES:

- 1) CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND NOTIFY ENGINEER OF DISCREPANCIES PRIOR TO COMMENCING WORK.
- 2) SEE FLOORPLANS FOR WISC, DIMENSIONS AND OPENING SIZES.
- 3) EXTERIOR PLASTER SHALL BE IN CONFORMANCE WITH SECTION R703.
- 4) EXTERIOR ENVELOPE SHALL BE IN CONFORMANCE WITH SECTION R703. SEE SECTION R703.6.3 FOR ASPHALT FELT WATERPROOF BARRIER (AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER).
- 5) ROOF NUMBER SHALL BE VISIBLE AND LEGIBLE FROM THE STREET.
- 6) INSULATION: PROVIDE RSI MINIMUM AT NEW EXTERIOR WALLS AND R30 MIN. AT NEW ROOF FRAMING / ATTIC SPACES.

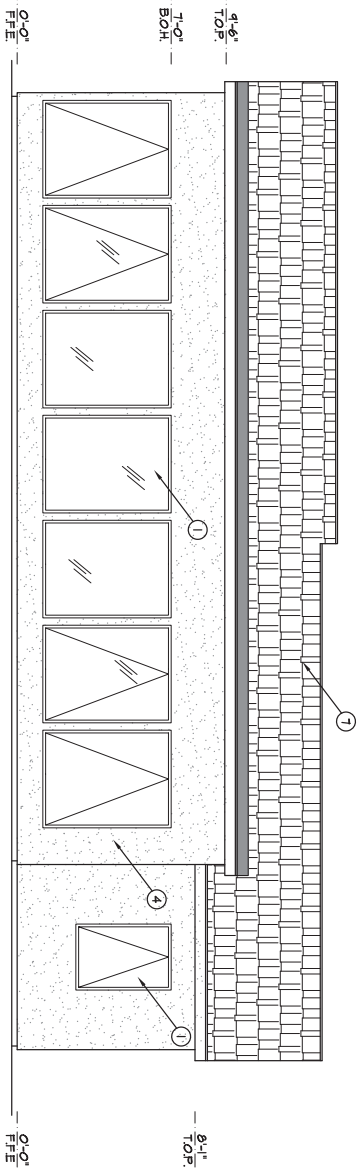
EAST ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"

COOPER REMODEL
3456 BAHIA BLANCA WEST
LAGUNA WOODS, CA

SHEET TITLE
ELEVATIONS

DRAWN CP	SHEET NUMBER
CHECKED SB	
SCALE 1/4" = 1'-0"	
JOB NO. D18054	
OF	SHEETS

A2



A circular professional engineer seal for the State of California. The outer ring contains the text "STATE OF CALIFORNIA" at the top and "REGISTERED PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The inner circle contains the name "STEVEN SHEPARD" at the top and the license number "S 5446" at the bottom.

[illegible]

DRAWN	SHEET NUMBER
CP	
CHECKED	
55	
SCALE	
NTS	A3
JOB NO.	
D18054	
OF SHEETS	



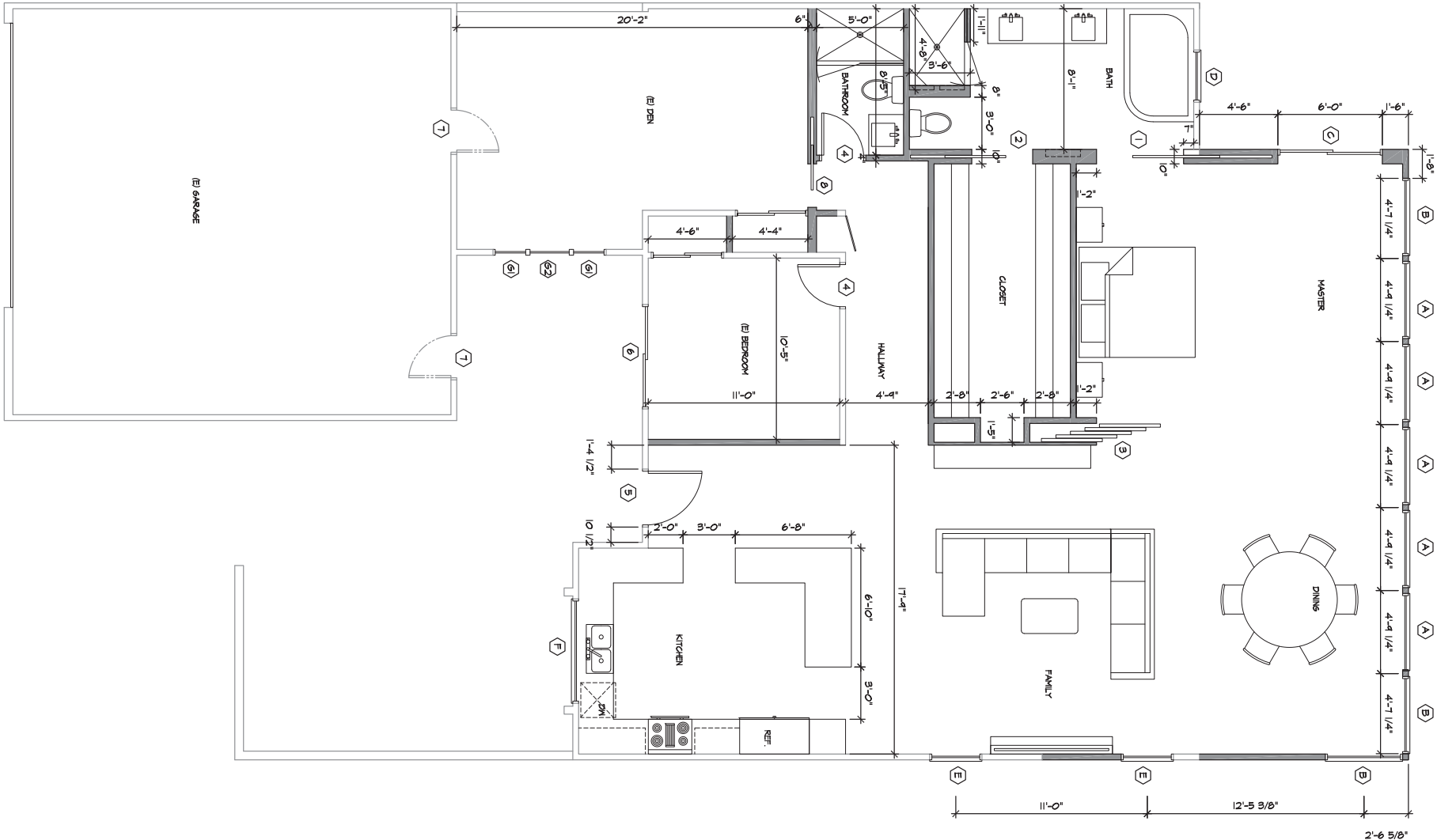
SIGNATURE



DOOR & WINDOW SCHEDULE
(WINDOW SIZES SHOWN ARE ROUGH OPENINGS)

1	60" x 84" POCKET DOOR	A	59 1/4" x 70" FIXED
2	40" x 84" POCKET DOOR	B	39 1/4" x 70" AWNING
3	211" x 46" POCKET DOOR	C	72" x 78" WINDOW
4	32" x 84" INTERIOR DOOR	D	36" x 51" AWNING
5	40" x 86" DUTCH EXTERIOR	E	36" x 70" AWNING
6	73" x 86" SLIDER	F	72" x 43" AWNING
7	32" x 78" EXTERIOR (EXISTING)	G	24" x 34" AWNING
8	30" x 80" POCKET DOOR	G2	30" x 48" AWNING

- 1) FIELD VERIFY ALL EXISTING DOOR AND WINDOW SIZES. WHEN WINDOWS ON THE SAME ELEVATION AS EXISTING WINDOWS SHALL MATCH GENERAL CORRESPONDENCE MATERIAL AND COLOR.
- 2) SAME ELEVATION FIELD VERIFY ALL DIMENSIONS AND PROVIDE MATCHING SIZES.
- 3) ALL GLAZING ADJACENT TO BATHROOMS OR WITHIN 5 FEET OF TBSS SHALL BE TEMPERED. ALL TEMPERED GLAZING SHALL BE ETCH MARKED AS SUCH.
- 4) ALL GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAVERS WITHIN 36 INCHES HORIZONTALLY OF GLAZING SHALL BE ETCH MARKED AS SUCH.
- 5) EXISTING WINDOWS SHALL BE FIELD VERIFIED FOR PROPER SIZES AND MATCHING MATERIALS. PROVIDE EGRESS HARDWARE AS NECESSARY AND VERIFY 40 DEGREE CASSETT OPENING AND CLEAR WIDTH.
- A. MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES.
- B. MINIMUM CLEAR OPENING WIDTH OF 22 INCHES.
- C. MINIMUM CLEAR OPENING HEIGHT OF 20 INCHES.
- D. MINIMUM CLEAR OPENING WIDTH OF 20 INCHES.
- E. MINIMUM CLEAR OPENING HEIGHT OF 20 INCHES.
- F. MINIMUM CLEAR OPENING WIDTH OF 20 INCHES.
- G. MINIMUM CLEAR OPENING HEIGHT OF 20 INCHES.
- G2. REFER TO T-241 DOCKMENTS FOR GLAZING SPEC & U FACTORS.



DIMENSIONED FLOOR PLAN

SCALE: 1/4"=1'-0"



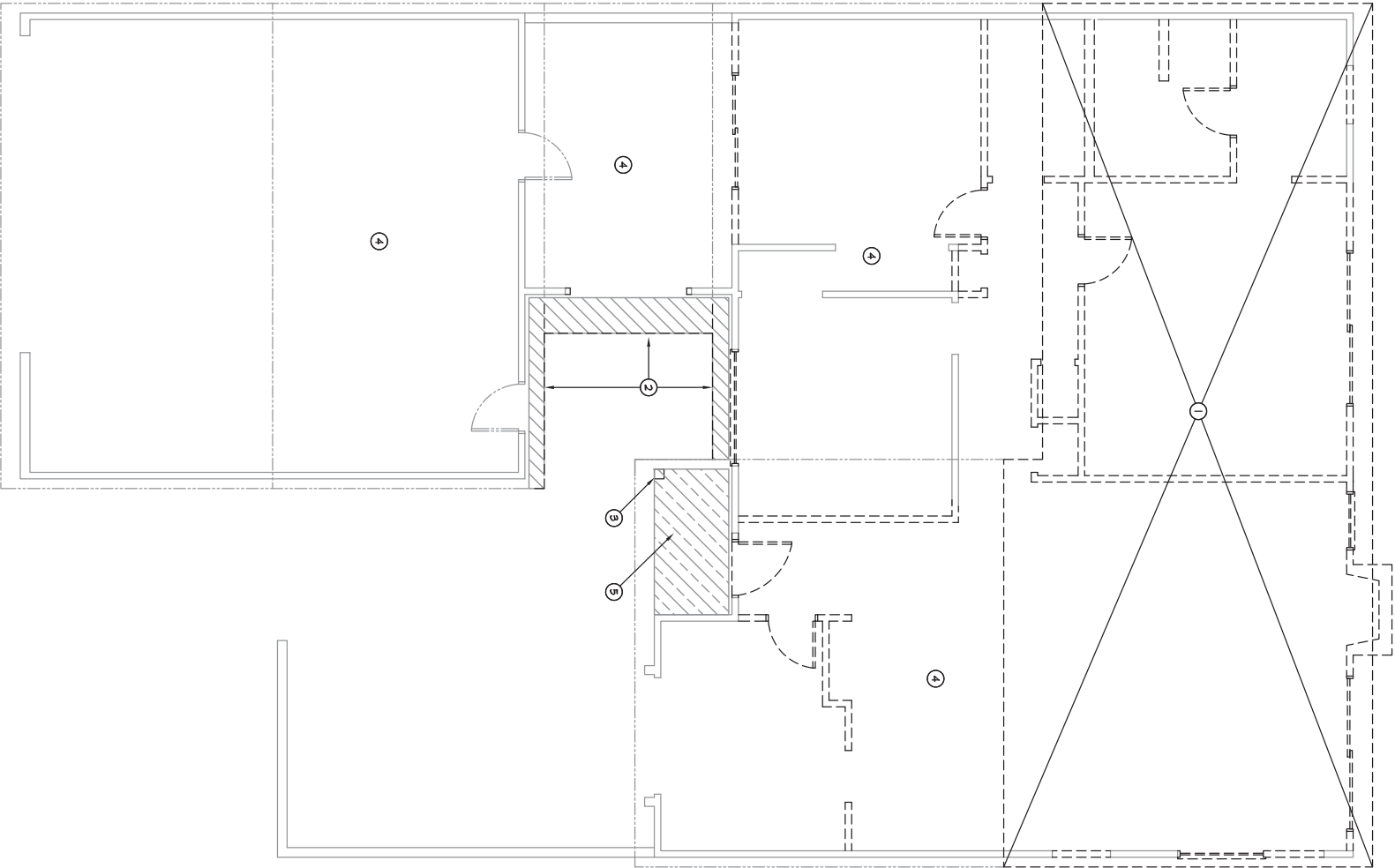
COOPER REMODEL
3456 BAHIA BLANCA WEST
LAGUNA WOODS, CA

SHEET TITLE
DIMENSION PLAN
& SCHEDULES

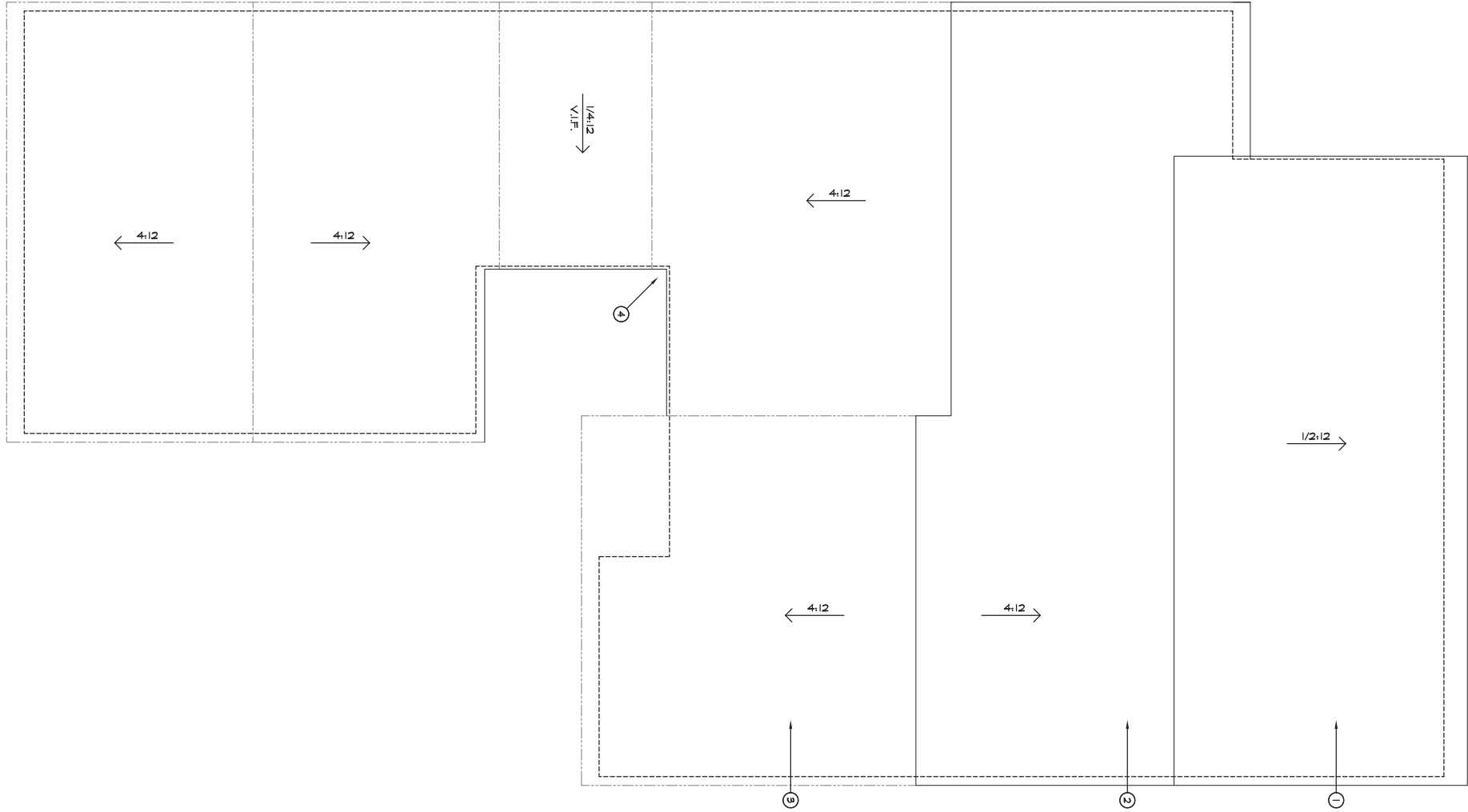
DRAWN CP	SHEET NUMBER
CHECKED SB	
SCALE NTS	A4
JOB NO. D18054	OF SHEETS

LINETYPE LEGEND

- EXISTING INTERIOR OR EXTERIOR WALL TO REMAIN.
- TYPICAL DEMO WALL (PROVIDE SHORING AS REQ'D)



DEMO PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"

ROOF PLAN KEY NOTES:

- PVC ROOF MEMBRANE (CLASS A) PER OWNER'S SPECIFICATION.
- CLASS A ASPHALT ROOF SHINGLES W/ UNDERLAYMENT PER RM0511.
- EXISTING ROOFING TO REMAIN.
- CUT BACK EXISTING EAVES & REPLACE FASCIA. ALIGN COURTYARD FASCIA AT SLOPING & FLAT ROOF.

ROOF PLAN GENERAL NOTES:

- CONTRACTOR SHALL PROVIDE ALL ROOFING FLASHING SEAMANT & ACCESSORIES REQUIRED FOR A WEATHERPROOF ASSEMBLY PER MANUFACTURER'S PUBLISHED RECOMMENDATIONS AND INSTALLATION PROCEDURES AND ALL APPLICABLE CODE REPORTS AND WITHIN CRC GUIDELINES.
- CONTRACTOR SHALL PROVIDE DRAINS, SCUPPERS, GUTTERS, DOWNSPOUTS, ETC. IN COORDINATION WITH OWNER AND SHALL ENSURE WATER IS DISCHARGED INTO ACCEPTABLE LOCATIONS SUCH AS PLANTERS OR LANDSCAPE WITH ADEQUATE SLOPE AWAY FROM THE STRUCTURE. WHERE RUNOFF IS COLLECTED FOR DISCHARGE THESE LOCATIONS SHALL BE HAVE AREA DRAINS PROVIDED. DOWNSPOUTS SHALL NOT OCCUR AT PAVED OR HARD-SCAPE AREAS UNLESS DISCHARGING DIRECTLY TO AN AN ACCEPTABLE AREA DRAIN.
- WHERE EXISTING STORY-WATER DRAINAGE SYSTEM AND DRAINS ARE UTILIZED FOR NEW ROOF AREAS THE CONTRACTOR SHALL VERIFY THE SYSTEM IS UNOBSTRUCTED AND DISCHARGES TO AN APPROVED SYSTEM PER CODE REQUIREMENTS.
- ROOF DRAINS SHALL HAVE CONTROLLED METHOD OF WATER DISPOSAL. DRAINS SHALL NOT WALL LOCATED AND DISCHARGE ROOF DRAINS TO THE GROUND SURFACE AT LEAST FIVE FEET AWAY OR TO AN APPROVED DRAINAGE SYSTEM.
- DROP EDGES SHALL BE PROVIDED WHERE RAINWATER RUNS OFF NEAR FASCIA BOARDS, BEAMS, WALLS, ETC.

DEMO PLAN KEY NOTES:

- DEMOLISH EXISTING ROOFING, PAPER AND PREP. FOR NEW SHEATHING.
- DEMOLISH EXISTING ROOFING, SOFFIT, & FRAMING AT EAVE IN COURTYARD
- DEMOLISH EXISTING PORCH POST.
- EXISTING ROOFING TO REMAIN.
- DEMOLISH SOFFIT OVER ENTRY. ROOFING SHALL REMAIN. SEE STRUCTURAL FOR FRAMING MODIFICATIONS.

DEMO PLAN GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT IN PLACE ALL PORTIONS OF THE STRUCTURE THAT ARE INTENDED TO REMAIN. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES. CONTRACTOR SHALL PROVIDE REQUIRED PROTECTION INCLUDING, BUT NOT LIMITED TO, SHORING, BRACING, AND ALL OTHER SUPPORTS (INCLUDING ENGINEERING SYSTEMS) NECESSARY TO MAINTAIN OVERALL STRUCTURAL INTEGRITY OF THE BUILDING. ALL DEMOLITION AND CUTTING SHALL BE PERFORMED IN A MANNER AND BY METHODS WHICH ENSURE AGAINST DAMAGE TO EXISTING WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR THE REPAIR OR REPLACEMENT OF UTILITIES AND ALL OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH EXECUTION OF WORK.



SIGNATURE



THE DRAWINGS, SPECIFICATIONS AND DEMAND FOR THIS PROJECT ARE EXHIBITS SOLELY WITH RESPECT TO THIS PROJECT AND NO OTHER PROJECTS. FOR ADDITIONS OR OTHER PROJECTS, THE ENGINEER'S DRAWINGS SHALL BE OBTAINED FROM THE ENGINEER'S OFFICE. THE ENGINEER'S DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN AGREEMENT IN WRITING BY THE ENGINEER.

<input type="checkbox"/> PROGRESS PRINT	
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<input type="checkbox"/> BID SET	
<input type="checkbox"/> CONSTRUCTION	
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<input type="checkbox"/>	

COOPER REMODEL
3456 BAHIA BLANCA WEST
LAGUNA WOODS, CA

SHEET TITLE
DEMO & ROOF
PLAN

DRAWN CP	SHEET NUMBER
CHECKED MS	56
SCALE NTS	A5
JOB NO. D18054	OF SHEETS

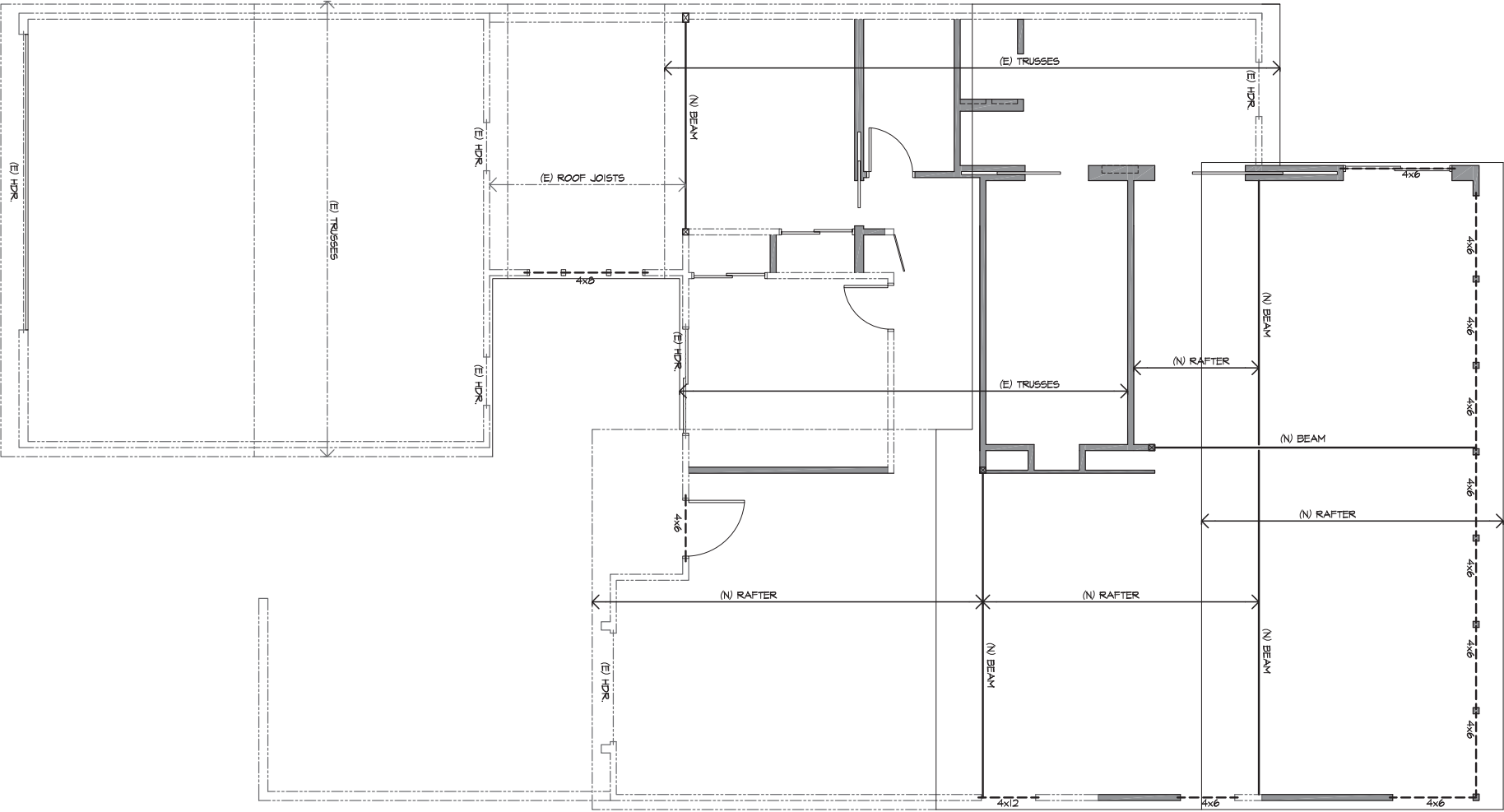


ROOF FRAMING NOTES

1. PROVIDE BOUNDARY NAILING ALONG ALL STRUT VENEERS, STRAPPED BLOCKING LINES, AND ALONG ALL SHEAR LINES ACROSS THE ENTIRE DIAPHRAGM WHERE WALLS/BEAMS/JOISTS ARE ALIGNED.
2. TYPICAL STUD FRAMING UNLESS NOTED OTHERWISE: 2X STUDS @ 16"OC SEE SCHEDULE S2 & ARCH. FOR WALL WIDTHS.
3. PROVIDE MULTIPLE STUDS UNDER ALL MULTI-JOISTS & ROOF & FLOOR BEAM BEARING POINTS FOR FULL BEARING, 1/8" (2) 2X AT 4X OR (3) 2X AT 6X.
4. FOR SCHEDULES SEE S9. FOR TYPICAL DETAILS SEE S4.
5. AT EXTERIOR WALLS IN ROOF FRAMING INTO THE SIDE PROVIDE 7/16" STRIP, 1 BAYED SHIRT, W/ 8d @ 6"OC BN & EN & 12"OC FL FROM FLOOR TO FLOOR/ROOF (SEE DETAILS).
6. SEE ARCH. FOR ALL CONDITIONS & DIMENSIONS NOT SHOWN.
7. CARRY ALL POSTS AND BEAM SUPPORT STUDS AND HOLD-DOWN STUDS ALL THE WAY TO THE GROUND OR SUPPORT BEAM & PROVIDE EDGE NAILING FULL HEIGHT.
8. C.U. INDICATES CEILING JOISTS. PROVIDE CEILING JOISTS PER SCHEDULE SHEET S9 AS REQUIRED BASED ON ARCHITECTURAL PLANS AND SECTIONS WHETHER INDICATED OR NOT.

CEILING JOIST SCHEDULE		
SPAN JOIST	ALLOWABLE SPANS	
SECTION	SPACING	(ASSUMED 20psf LL/10psf DL)
2x4	12"OC	9'-10"
	16"OC	8'-4"
2x6	12"OC	14'-10"
	16"OC	12'-10"
2x8	12"OC	18'-4"
	16"OC	16'-3"
2x10	12"OC	22'-11"
	16"OC	19'-10"

- 1) INCLUDES 20 PSF LIVE LOAD FOR LIMITED STORAGE PER C62 TABLE R602.4(2).
- 2) FULL DEPTH COMPRESSION BLOCKING SHALL BE PROVIDED AT MID-SPAN OR 6'-0"OC MAX.
- 3) CLIPS TO BE USED TO BUILD UP TO 15'0" SPANS & 1/8S BEAMS WERE POSSIBLE.
- 4) JOISTS SHALL BE LAPPED & NAILED TO SLOPING RAFTERS PER DETAILS UNO.



ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"



SIGNATURE



THE DRAWINGS, SPECIFICATIONS AND NOTES ON THIS PROJECT ARE EXHIBITS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

- ☐ PROGRESS PRINT
- ☐ PLAN CHECK
- ☐ BID SET
- ☐ CONSTRUCTION
- ☐
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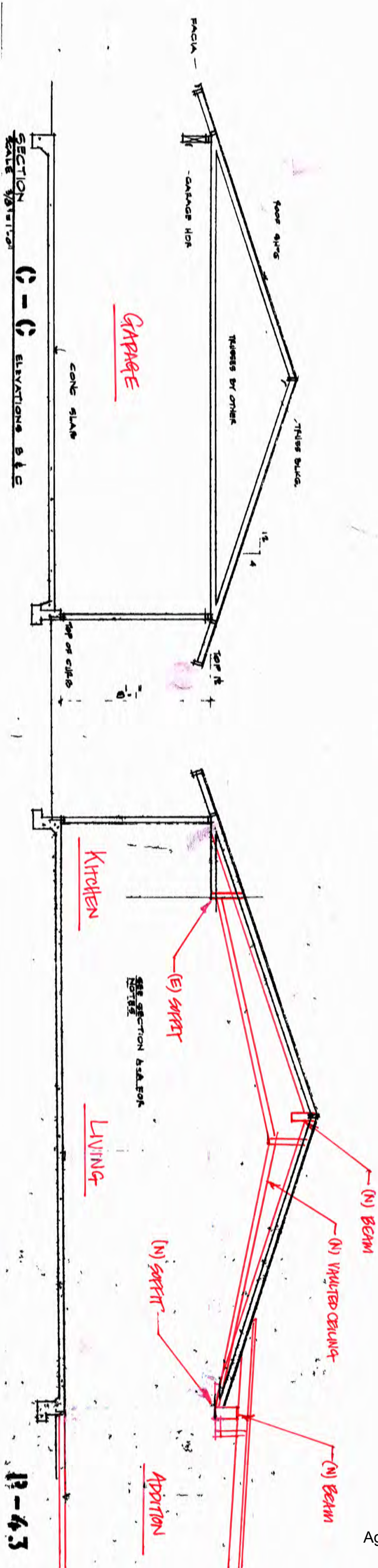
COOPER REMODEL
3456 BAHIA BLANCA WEST
LAGUNA WOODS, CA

SHEET TITLE
ROOF FRAMING PLAN

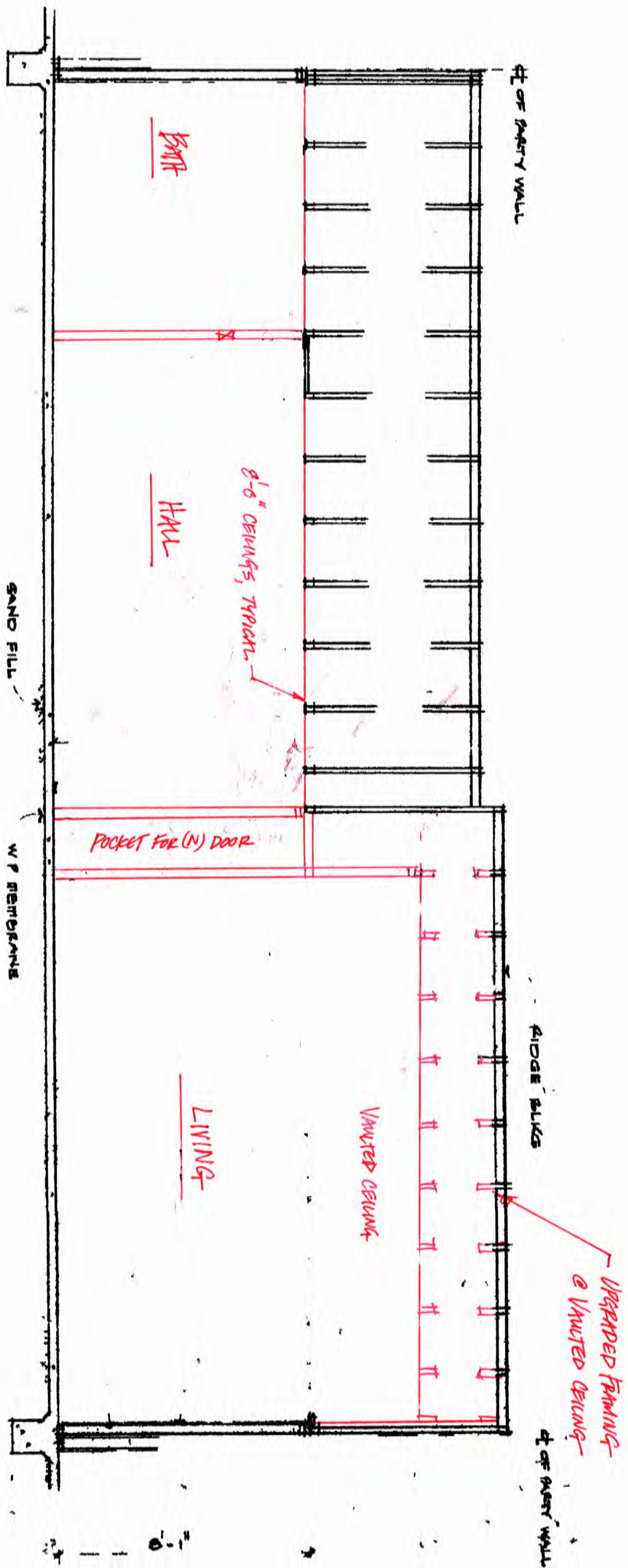
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S3
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JOB NO.
D18050
OF
SHEETS

PRELIMINARY !!!
NOT FOR CONSTRUCTION





Proposed Section C-C



SECTION 13 - 13 ELEVATIONS B & C
 SCALE 3/8" = 1'-0"

Proposed Section B-B

A circular professional engineer seal for Steven Sheppard, State of California, License Number 66440. The seal features the text "REGISTERED PROFESSIONAL ENGINEER" around the top and "STATE OF CALIFORNIA" around the bottom, separated by two stars. In the center, the name "STEVEN SHEPPARD" and the license number "66440" are printed.

1. PVC ROOF MEMBRANE (CLASS A) PER OWNER'S SPECIFICATION.
2. CLASS A ASPHALT/ROOF SHINGLES w/ UNDERLAYMENT PER (MOS11), 6"X6" OR EQUAL, ICC-ES E-2321.
3. EXISTING ROOFING TO REMAIN.
4. CUT BACK EXISTING EAVES + REPLACE FASCIA ALONG COURTYARD FASCIA AT ELEVATION + FLAT ROOF.

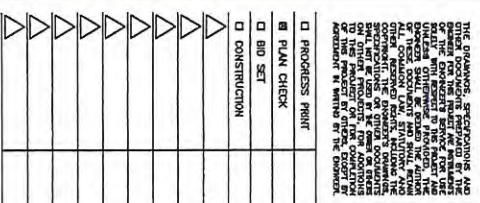
ROOF PLAN GENERAL NOTES:

* New Built-UP Asphalt
Roofing for Transition from
Lamp Structures
AND PARTIAL SOLAR PANEL
INSTALLATION.

DEMO PLAN KEY NOTES:

1. DEMOLISH EXISTING ROOMS, PARTIAL AND REPAIR FOR NEW SEATING.
2. DEMOLISH EXISTING ROOMS, SORT, & FINISH AT BAYE IN COURT-YARD
3. DEMOLISH EXISTING PORCH FRONT.
4. EXISTING ROOMS TO REMAIN.
5. DEMOLISH SORTS OVER ENTRY, ROOMS SHALL REMAIN, SEE STRUCTURAL FOR FINISH MODIFICATIONS.

DEMO PLAN GENERAL NOTES:



**COOPER REMODEL
3456 BAHIA BLANCA WEST
LAGUNA WOODS, CA**

DRUM	SHEET NUMBER
CP	
CHECKED	
96	
SCALE	
NTS	A5
JOB NO.	
D10054	
OF	SHEETS



Laguna Woods Village.

Attachment: 2

MANOR # 3456-B

☐ ULWM

☒ TLHM

Variance Request Form

SA 21398432

Model: <u>Andalee</u>	Plan: <u>P43</u>	Date: <u>7/19/19</u>
Member Name: <u>Tim Cooper</u>	Signature: <u>Tim Cooper</u>	
	E-mail: <u>[REDACTED]</u>	
	Phone: <u>[REDACTED]</u>	E-mail: <u>[REDACTED]</u>
Owner Mailing Address: (to be used for official correspondence)		

Description of Proposed Variance Request ONLY:

- ① New ceiling Framing + Roof Structural, per plan
- ② Vaulted Living Room Ceiling
- ③ Semi-Vaulted Master Bedroom Ceiling
- ④ Replace Metal Shingles With Composite Shingles per pending Standard # 41 for Solar install.

Dimensions of Proposed Variance Alterations ONLY:

FOR OFFICE USE ONLY

RECEIVED BY: LT DATE RECEIVED: 7/19/19 Check# 2418 BY: LT

Alteration Variance Request	Complete Submittal Cut Off Date: <u>7/26/19</u>
Check Items Received:	Meetings Scheduled:
<input type="checkbox"/> Drawing of Existing Floor Plan	Third AC&S Committee (TACSC): <u>Aug 26th 2019</u>
<input type="checkbox"/> Drawing of Proposed Variance	United M&C Committee: _____
<input type="checkbox"/> Dimensions of Proposed Variance	Board Meeting: <u>Sept 17th 2019</u>
<input type="checkbox"/> Before and After Pictures	<input type="checkbox"/> Denied <input type="checkbox"/> Approved
<input type="checkbox"/> Other: _____	<input type="checkbox"/> Tabled <input type="checkbox"/> Other _____



MASTER Bedroom Front View





GERALD W. BERCOVITZ



July 6, 2019

Alterations Department

Third Mutual Laguna Woods Village

RE: Tim & Susan Smallwood Cooper

3456-B Bahia Blanca West

Sir or Madam:

I hereby agree to the Sliding Window (72" x 78") in the Master Bedroom facing my residence at 3456-A Bahia Blanca West.

I have been a supporter of Tim and Susan Smallwood Cooper all throughout their variance process. They are the best neighbors one could have and I look forward to the day when they move in. They have been a great help to me with various items around my home.

Please allow them to have this Sliding Window in their Master Bedroom.

Best regards,

GERALD W. BERCOVITZ

A handwritten signature in cursive script that reads "Gerald W. Bercovitz".

3456-B Remodel

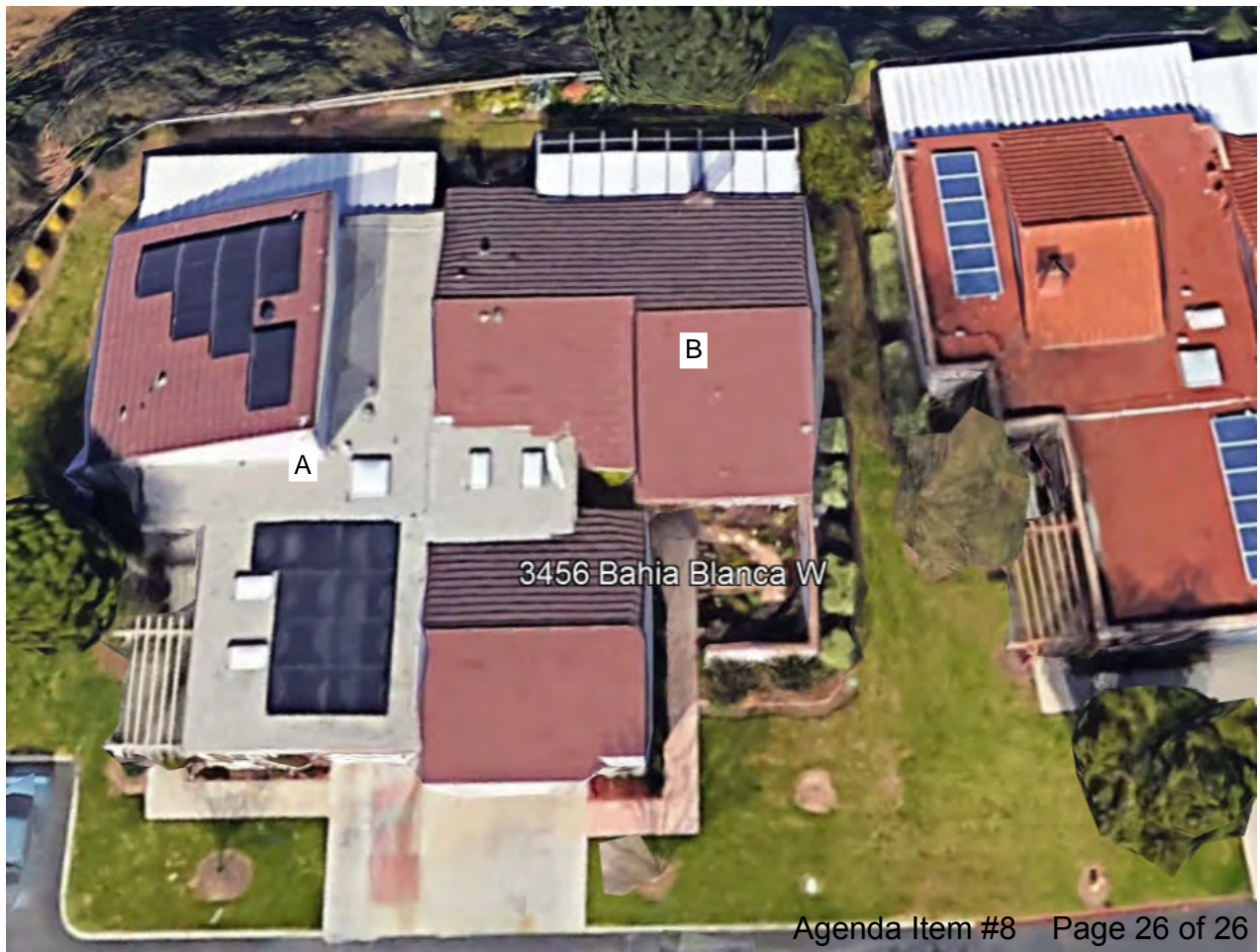
FULL REMODEL SCOPE OF WORK PER VARIANCE RESOLUTION 03-18-70

1. New Habitable Space Room Addition, per plan
2. New Insulation & Drywall, per plan
3. New Skylights & Sola Tubes, per plan
4. New Aluminum Windows (bronze), per plan
5. **New Ceiling Framing & Roof Structural, per plan**
 - a. **Vaulted Living Room Ceiling**
 - b. **Semi-Vaulted Master Bedroom Ceiling**
6. New Interior & Exterior Doors, per plan
7. New Vinyl & Stone Flooring throughout
8. New Kitchen Cabinets, Appliances, Stone & Tile, per plan
9. New Master Bath Cabinets, Fixtures, Tile & Stone, per plan
10. New Guest Bath Cabinets, Fixtures, Tile & Stone, per plan
11. New 200amp Panel, Wiring, Lighting & Receptacles, per plan
12. Relocate FAU to Attic Space, per plan
13. New Pex water lines throughout; rework drainage lines, as required
14. **New Roofing for Room Addition & re-roofing tie-ins, as required**
15. **New Solar Panel System under separate application**

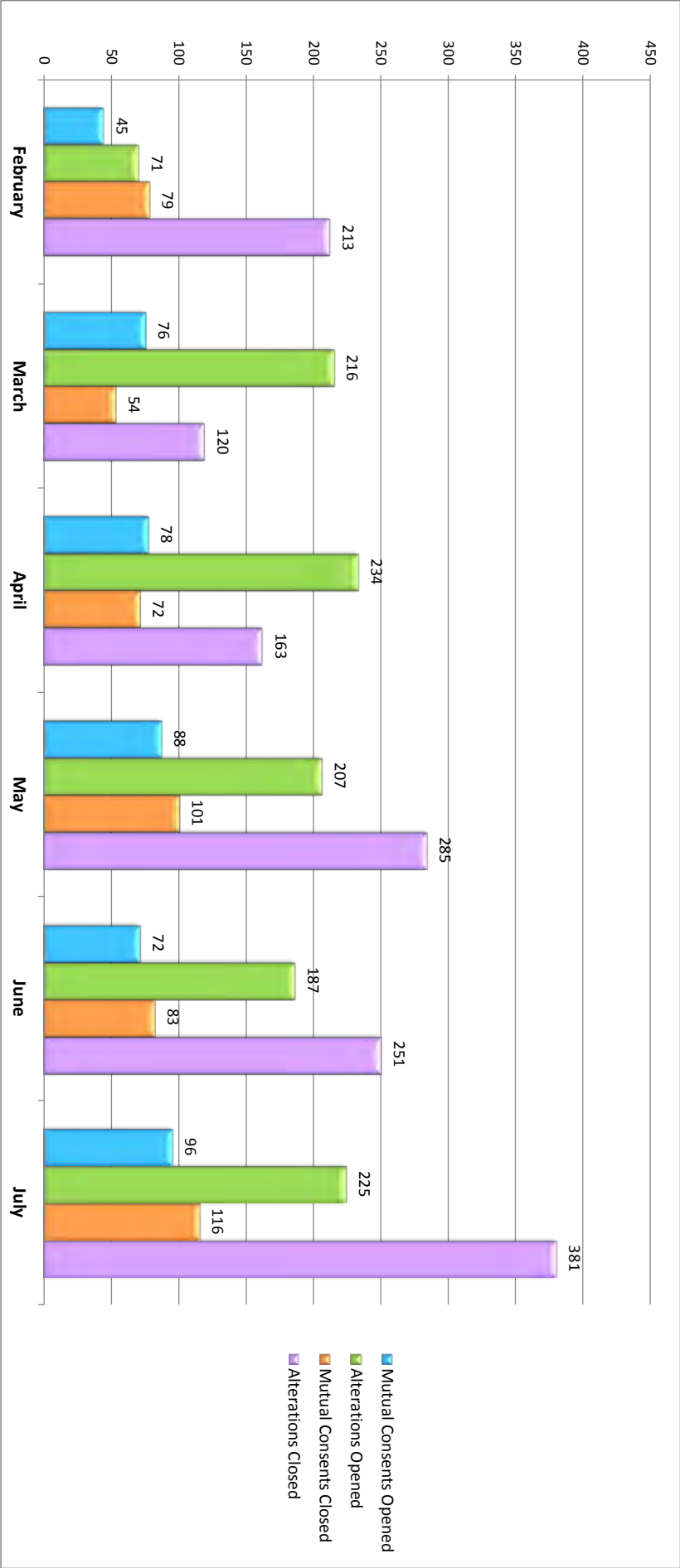
Attachment: 3



Attachment: 4



Permits and Alterations Division
Mutual Consents Report
Third Mutual



Opened	Mutual Consents	February	March	April	May	June	July	Total
	Alterations	45	76	78	88	72	96	455
Closed	Mutual Consents	71	216	234	207	187	225	1140
	Alterations	79	54	72	101	83	116	505
		213	120	163	285	251	381	1413

* One Mutual Consent may contain multiple individual Alterations